



ITEM II-C **DESIGN REVIEW PERMIT – 1241 PLEASANT GROVE BL. (STARBUCKS COFFEE) –
FILE # 2007PL-113 (DRP-000206)**

REQUEST

The applicant requests approval of a Design Review Permit to construct a drive-thru coffee shop in the Arbor View Village with associated landscaping, lighting, and parking.

Applicant – RHL Design Group, Kristel Phears
Property Owner – Arbor View Properties, LLC

SUMMARY RECOMMENDATION

The Planning & Redevelopment Department recommends that the Design Committee:

- A. Adopt the four findings of fact for the Design Review Permit;
- B. Approve the Design Review Permit subject to seventy-four (74) conditions of approval;

SUMMARY OF OUTSTANDING ISSUES

There are no outstanding issues associated with this request. The applicant has reviewed and is in agreement with the recommended conditions of approval.

BACKGROUND

The project site, located at 1241 Pleasant Grove, is in Arbor View Village (corner of Foothills Boulevard and Pleasant Grove Boulevard), in the Northwest Roseville Specific Plan. In June 2003, the Planning Commission approved a Design Review Permit, Tentative Parcel Map, and Tree Permit for Arbor View

Village. The plan included five one-story retail buildings totaling 42,341 square feet. To date, three of the five buildings have been constructed. The approved plan designated the proposed Starbucks parcel as Phase 3 and the building approved for this parcel was never built.

The 0.19 acre site is one of two possible remaining undeveloped pads in the Arbor View Village. The remainder of Arbor View Village is retail use and has 230 parking spaces. The proposed Starbucks Coffee project consists of an 880 square foot building with a 600 square foot patio. Additional site improvements will include landscaping, parking, and lighting.

SITE INFORMATION

Roseville Coalition of Neighborhood Associations (RCONA): The site is located in the Kaseberg-Kingswood neighborhood association district, which is currently inactive.

Lot Size: 0.19 acres

Site Access: The site can be accessed from two driveways on Pleasant Grove Boulevard and one driveway on Foothills Boulevard.

Topography: The building pad was previously rough-graded with development of the center. Minimal grading will be necessary to prepare the site for of the proposed building, drive-thru, patio, and landscaping.



Vicinity Map and Adjacent Zoning:

Fig. 2 Development Standards

	Required	Proposed
Building Setback	None specified	59'
Landscape Setback	50'	38' (with 10' deceleration lane, consistent with Arbor View Village approval)
Building Height Limit	50' maximum	20'6"
Floor Area Ratio	20-40%	11%
Parking Spaces (total)	206 (Arbor View Shopping Center)	222

	Required	Proposed
Bicycle Spaces	1	1 (see condition 28)

The proposed project is consistent with the land uses contemplated by the City's General Plan, the Northwest Roseville Specific Plan, the Zoning Ordinance, and the Community Design Guidelines.

PROJECT DESIGN FEATURES

See the attached Site Plan (Exhibit A), Grading Plan (Exhibit B), Building Elevations (Exhibit C), Floor Plan (Exhibit D), Landscape Plan (Exhibit E), and Color Elevations (Attachment 2).

DESIGN REVIEW PERMIT EVALUATION

This project is subject to the development standards of the City's Zoning Ordinance and the design standards of the City's Community Design Guidelines (CDG) and Northwest Roseville Specific Plan. Staff reviewed the proposal for consistency with all applicable standards and found the project consistent with the intent of the requirements and guidelines in each. The following evaluation focuses on pertinent design issues.

Site Design

Building siting: Although Section 3.A.2 of the Community Design Guidelines encourages that drive-thru aisles not face primary street frontages, this site, due to its small size, could not meet both this guideline and the CDG requirement for 180 feet of stacking distance (Section 3.A.4). In order to provide 180 feet of stacking distance, especially important in this instance due to the drive-thru/walk-up only concept, the building had to be oriented as proposed. The plan includes a stone-clad knee wall that will screen vehicles and headlights from vehicles and pedestrians on Pleasant Grove Boulevard.

The location of the building also provides a large area for landscaping next to the patio that will help to screen vehicles in the drive-thru from patrons using the patio and those in the of the remainder of Arbor View Village.

Setbacks: The Northwest Roseville Specific Plan requires a 50 foot setback for non-single family residential uses along this portion of Pleasant Grove Boulevard. The proposed setback for this project is 38 feet of landscaping plus a 10 foot deceleration lane. This 48 foot setback is consistent with the existing Arbor View Village setback.

Parking: Currently, Arbor View Village has 230 parking spaces. The construction of this project will result in a loss of 8 spaces for a total of 222. Based on the existing and anticipated uses in the center, a total of 204 parking spaces will be required. The vacant suites in the center have been calculated at 1 space per 200 square feet, consistent with Zoning Ordinance parking requirements. As these vacant tenant spaces are leased the parking will be reevaluated to ensure that the center has sufficient available parking.

Pedestrian Amenities: Section 3.A.5 (b) of the CDG encourages site layouts that provide pedestrian access from off-site circulation systems. The proposed project provides pedestrian access from Pleasant Grove Boulevard and from the project to the other buildings in the complex.

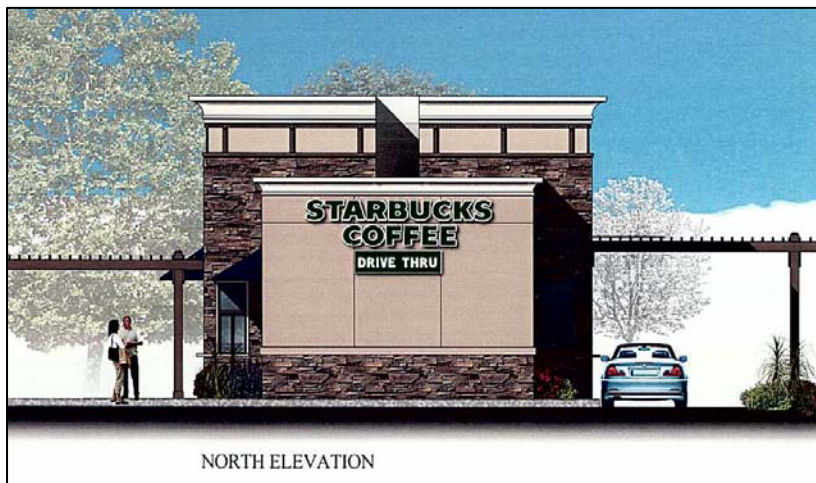
Architecture

The applicant proposes an 880 square-foot building with a 600 square foot patio and drive-thru. This is a drive-thru/walk-up only facility. There is no indoor seating provided for customers; however, one public restroom is provided and accessed off of the patio. The building will complement the existing buildings in Arbor View Village with similar awnings, cultured stone, paint colors, and architectural design. The exterior of the building will be painted stucco with cultured stone on the front and a 3'6" wainscoting around the remainder of the structure (see figures 1 and 2 below). The applicant has provided a wood trellis over the patio and drive-thru to increase the small structure's visual mass and provide shade for walk-up patrons who wish to use the outdoor seating.



Figure 1 – Front of building, facing parking lot

Figure 2 – Rear of building, facing Pleasant Grove Bl.



Landscaping:

Section 3.A.11 (c) encourages the use of “plantings, berming, and screen walls” to provide screening. This project includes a knee wall (3 feet high) to screen vehicles in the drive-thru aisle from Pleasant Grove and other buildings on the site. The knee wall wraps around the drive-thru starting at the clearance bar on the

east side of the building and continuing to the pick-up window on the west side of the building. The knee wall will be cultured stone to match the building.

A large bermed planting area is provided between the drive-thru lane and the patio seating. This bermed planting area will screen the drive-thru from those using the outdoor seating.

DESIGN REVIEW PERMIT CONCLUSION

Zoning Ordinance Section 19.78.060(B) requires four findings of fact be made in order to approve a Design Review Permit. Based on the analysis contained in this staff report and with the project conditions, the required findings for approval can be made for the proposed Design Review Permit. The four findings for approval of the Design Review Permit are contained in the Recommendation section of this report.

ENVIRONMENTAL DETERMINATION

This project is categorically exempt from the environmental review requirements of the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15303(c), new construction of small structures in urbanized areas.

RECOMMENDATION

The Planning and Redevelopment Department recommend the Design Committee take the following actions:

- A. Adopt the four findings of fact as stated below for the Design Review Permit – 1241 PLEASANT GROVE BL. (STARBUCKS COFFEE) – FILE # 2007PL-113 (DRP-000206)

- 1. The project, as approved, preserves and accentuates the natural features of the property, such as open space, topography, trees, provides adequate drainage for the project, and allows beneficial use to be made of the site for development.*
- 2. The project site design, as approved, provides open spaces for pedestrians, vehicle access, vehicle parking, vehicle and pedestrian circulation, pedestrian walks, and links to alternative*

modes of transportation, loading areas, landscaping and irrigation and lighting which results in a safe, efficient and harmonious development which is consistent with the applicable goals, policies and objectives set forth in the General Plan, the Community Design Guidelines, and the Northwest Roseville Specific Plan..

3. The building designs, including the material, colors, height, size, and relief, and the arrangement of structures on the site, as approved, is harmonious with the existing open space and topography of the area which is consistent with the applicable goals, policies and objectives set forth in the General Plan, the Community Design Guidelines, and the Northwest Roseville Specific Plan..

4. The design of the public services, as approved, including but not limited to trash enclosures and service equipment are located so as not to detract from the appearance of the site, and are screened appropriately and effectively using construction materials, colors, and landscaping that are harmonious with the site and the building designs.

- B. Approve the Design Review Permit – 1241 PLEASANT GROVE BL. (STARBUCKS COFFEE) – FILE # 2007PL-113 (DRP-000206) subject to seventy-four (74) conditions of approval;

CONDITIONS OF APPROVAL for DESIGN REVIEW PERMIT (DRP-000206)

1. This design review permit approval shall be effectuated within a period of two (2) years from this date and if not effectuated shall expire on **November 15, 2009**. Prior to said expiration date, the applicant may apply for an extension of time, provided, however, this approval shall be extended for no more than a total of one year from **November 15, 2009**.
2. The project is approved as shown in Exhibits A - E and as conditioned or modified below. (Planning)
3. The applicant shall pay City's actual costs for providing plan check, mapping, GIS, and inspection services. This may be a combination of staff costs and direct billing for contract professional services. (Engineering, Environmental Utilities, Finance)

4. The design and construction of all improvements shall conform to the Improvement Standards and Construction Standards of the City of Roseville, or as modified by these conditions of approval, or as directed by the City Engineer. (Engineering)
5. The applicant shall not commence with any on-site improvements until such time as grading and/or improvement plans are approved and grading and/or encroachment permits are issued by the Department of Public Works (Engineering)
6. The approval of this project does not constitute approval of proposed improvements as to size, design, materials, or location, unless specifically addressed in these conditions of approval. (Engineering)

PRIOR TO BUILDING PERMITS:

7. Parking stalls shall meet, or exceed, the following minimum standards:
 - a. All parking stalls shall be double-striped. Parking stalls adjacent to sidewalks, landscaped areas or light fixtures, and all Accessible stalls shall have a 6" raised curb or concrete bumper. (Planning)
 - b. Standard -- 9 feet x 18 feet; Compact--8 feet x 16 feet; Accessible--14 feet x 18 feet (a 9 foot wide parking area plus a 5 foot wide loading area) and a minimum of one (1) parking space shall be Accessible van accessible--17 feet x 18 feet (9 foot wide parking area plus an 8 foot wide loading area). (Planning)
 - c. An 'exterior routes of travel' site accessibility plan incorporating slope, cross-slope, width, pedestrian ramps, curb ramps, handrails, signage, detectable warnings or speed limit signs or equivalent means shall comprise part of the site improvement plans submitted to City for review, prior to building plan check approvals. This site accessibility plan shall also include:
 - i) Handicapped parking stalls shall be dispersed and located closest to accessible entrances. The total number of accessible parking spaces shall be established by Table 11-B-6 of the CBC.

- ii) Accessible Parking spaces and crosswalks shall be signed, marked and maintained as required by Chapter 11 of the CBC.
 - iii) Accessible parking and exterior route of travel shall comply with CBC, Sections 1127B and 1129B. (Building)
8. Signs and/or striping shall be provided on-site as required by the Planning Department to control on-site traffic movements. (Planning)
 9. The plans submitted to the Building Department for permits shall indicate all approved revisions/alterations as approved by the Commission including all conditions of approval. (Planning)
 10. The Landscape plan shall comply with the Northwest Roseville Specific Plan and the City of Roseville Water Efficient Landscape Requirements Resolution No. 93-55. (Planning)
 11. The tree plantings in the parking lot shall be designed to provide a minimum of 50% shade coverage after 15 years. (Planning)
 12. At a minimum, landscaped areas not covered with live material shall be covered with a rock, (2") bark (no shredded bark) or (2") mulch covering. (Planning)
 13. Any roof-mounted equipment and satellite dishes proposed shall be shown on the building plans. The equipment shall be fully screened from public streets and the surrounding properties. (Planning)

Prior to the issuance of Building Permits:

14. At the time of building permit application and plan submittal, the project applicant shall submit a proposed plan which shows the suite addressing plan for individual tenant spaces within the building. The Chief Building Official, or the designate, shall approve said plan prior to building permit approval. (Building)
15. A separate **Site Accessibility Plan** which details the project's site accessibility information as required by California Title 24, Part 2 shall be submitted as part of the project Building Permit Plans. (Building)

16. ***Multiple Building Complexes.*** As part of the required **Site Accessibility Plan**, the developer shall delineate the extent of the site accessibility improvements being installed as part of the initial improvements for the project, and those that are planned to be developed as part of subsequent phases (i.e. around future pad buildings). (Building)
17. Building permit plans shall comply with all applicable code requirements (Uniform Building Code - UBC, Uniform Mechanical Code - UMC, Uniform Plumbing Code - UPC, Uniform Fire Codes - UFC and National Electrical Code - NEC), California Title 24 and the American with Disabilities Act - ADA requirements, and all State and Federally mandated requirements in effect at the time of submittal for building permits (contact the Building Department for applicable Code editions). (Building)
18. ***Restaurants or other food services.*** The developer shall obtain all required approvals and permits from the Placer County Health Department. (Building)
19. Maintenance of copy of building plans. Health and Safety Code section 19850 requires the building department of every city or county to maintain an official copy of the building plans for the life of the building. As such, each individual building shall be submitted as a separate submittal package. Building plan review, permit issuance and archiving is based on each individual building address.
20. For all work to be performed off-site, permission to enter and construct shall be obtained from the property owner, in the form of a notarized right-of-entry. Said notarized right-of-entry shall be provided to Engineering prior to approval of any plans. (Engineering)
21. The grading and improvement plans shall be designed in accordance with the City's Improvement Standards and Construction Standards and shall reflect the following:
 - a. Street improvements including, but not limited to, curb, gutter, sidewalk, pavement, drainage systems, traffic striping, signing, medians and markings, etc. along all existing and proposed City streets, as required by Engineering.
 - b. Grading shall comply with the City grading ordinance. Erosion control devices (sediment traps, ditches, straw bales, etc.) shall be shown on the grading plans. All erosion control shall be

installed prior to the onset of wet weather. Erosion control is installed to minimize silt discharge from the project site. It is incumbent upon the applicant to ensure that necessary measures are taken to minimize silt discharge from the site. Therefore modification of the erosion control plan may be warranted during wet weather conditions.

- c. A rough grading permit may be approved by Engineering prior to approval of the improvement plans.
- d. Standard Handicap ramps shall be installed at all curb returns per City Standards. (Engineering)

22. The applicant shall apply for and obtain an encroachment permit from the Engineering Department prior to any work conducted within the City right-of-way. (Engineering)

23. A note shall be added to the grading plans that states:

*"Prior to the commencement of grading operations, the contractor shall identify the site where the **excess/borrow** earthen material shall be imported/deposited. If the **borrow/deposit** site is within the City of Roseville, the contractor shall produce a report issued by a geotechnical engineer to verify that the exported materials are suitable for the intended fill, and shall show proof of all approved grading plans. Haul routes to be used shall be specified."* (Engineering)

24. All storm drainage, including roof drains, shall be collected on site and shall be routed to the nearest storm drain system or natural drainage facility. Prior to discharge from the site, the storm water shall be treated with appropriate storm water pollution treatment device(s). The storm drain system shall be a private system and shall be maintained by the property owner. (Engineering)

25. "Prior to the issuance of a grading permit or approval of Improvement Plans, the grading plans shall clearly identify all existing water, sewer and recycled water utilities within the boundaries of the project (including adjoining public right of way). Existing utilities shall be identified in plan view and in profile view where grading activities will modify existing site elevations over top of or within 15 feet of the utility. Any utilities that could potentially be impacted by the project shall be clearly identified along with the proposed protection measures. The developer shall be responsible for taking measures and

incurring costs associated with protecting the existing water, sewer and recycled water utilities to the satisfaction of the Environmental Utilities Director. (Environmental Utilities)"

26. The applicant shall pay for all applicable water and sewer fees. (Environmental Utilities)
27. Water and sewer infrastructure shall be designed pursuant to the adopted City of Roseville Improvement Standards and the City of Roseville Construction Standards and shall include:
 - a. Utilities or permanent structures shall not be located within the area which would be disturbed by an open trench needed to expose sewer trunk mains deeper than 12' unless approved by Environmental Utilities in these conditions. The area needed to construct the trench is a sloped cone above the sewer main. The cone shall have 1:1 side slopes.
 - b. Water, sewer and reclaimed mains shall not exceed a depth of 12' below finished grade, unless authorized in these conditions of approval.
 - c. All sewer manholes shall have all weather 10-ton vehicle access unless authorized by these conditions of approval. (Environmental Utilities)
28. The project shall include a minimum of one (1) bicycle rack. (Transportation, Planning)
29. Trash enclosures, recycling areas, and enclosure approaches shall be designed to current Refuse Division specifications, the materials and colors shall match the building, and the location of such facilities shall be reviewed and approved by the Refuse Division, Planning and the Fire Department. The enclosure must have inside dimensions of 12 feet wide and 9 feet deep and be built to the specifications of the Solid Waste Department's Enclosure Description. (Refuse, Planning, Fire)
30. Access to trash enclosures shall have an inside turning radius of 25 feet and an outside turning radius of 45 feet must be maintained to allow the refuse truck access to and from the enclosure. Enclosures must have a clear approach of 65 feet in front of the enclosure to allow servicing bins. (Refuse)
31. A trash enclosure and recycling enclosure is required for each building and each tenant, otherwise, the building owner is responsible for the trash service. (Refuse)

32. The design and installation of all fire protection equipment shall conform to the California Fire Code and the amendments adopted by the City of Roseville, along with all standards and policies implemented by the Roseville Fire Department. (Fire)
33. The applicable codes and standards adopted by the City shall be enforced at the time construction plans have been submitted to the City for permitting (Fire)
34. The Electric Department requires the submittal of the following information in order to complete the final electric design for the project:
 - a. one (1) set of improvement plans
 - b. load calculations
 - c. electrical panel one-line drawings
35. All on-site external lighting shall be installed and directed to have no off-site glare. Lighting within the parking areas shall provide a maintained minimum of one (1) foot candle of light. All exterior light fixtures shall be vandal resistant. (Planning & Police)
36. The parking lot shall have properly posted signs that state the use of the parking area is for the exclusive use of employees and customers of this project. (See California Vehicle Code Sections 22507.8, 22511.5, 22511.8, 22658(a), and the City of Roseville Municipal Code Section 11.20.110). The location of the signs shall be shown on the approved site plan. (Planning & Police)
37. It is the developer's responsibility to notify PG&E of any work required on PG&E facilities. (PG&E)

DURING CONSTRUCTION & PRIOR TO ISSUANCE OF OCCUPANCY PERMITS:

38. Any backflow preventors visible from the street shall be painted green to blend in with the surrounding landscaping. The backflow preventors shall be screened with landscaping and shall comply with the following criteria:

- a. There shall be a minimum clearance of four feet (4'), on all sides, from the backflow preventor to the landscaping.
- b. For maintenance purposes, the landscaping shall only be installed on three sides and the plant material shall not have thorns.
- c. The control valves and the water meter shall be physically unobstructed.
- d. The backflow preventor shall be covered with a green cover that will provide insulation.
(Planning, Environmental Utilities)

39. The following easements shall be provided by separate instrument and shown on the site plan, unless otherwise provided for in these conditions:

- a. Public utilities easement along all road frontages.
- b. Water, sewer, and recycled water easements. (Electric, Engineering, Environmental Utilities)

40. Separate document easements required by the City shall be prepared in accordance with the City's "Policy for Dedication of Easements to the City of Roseville". All legal descriptions shall be prepared by a licensed land Surveyor. (Engineering, Environmental Utilities, Electric)

41. Easement widths shall comply with the City's Improvement Standards and Construction Standards.
(Environmental Utilities, Electric, Engineering)

42. Inspection of the potable water supply system on new commercial/ industrial/ office projects shall be as follows:

- a. The Environmental Utilities Inspector will inspect all potable water supply up to the downstream side of the backflow preventor.

- b. The property owner/applicant shall be responsible for that portion of the water supply system from the backflow preventor to the building. The builder/contractor shall engage a qualified inspector to approve the installation of this portion of the water supply. The Building Division will require from the builder/ contractor, a written document certifying that this portion of the potable water supply has been installed per improvement plans and in accordance with the Uniform Plumbing Code. This certificate of compliance shall be submitted to the Building Division before a temporary occupancy or a building final is approved.

- c. The building inspectors will exclusively inspect all potable water supply systems for the building from the shutoff valve at the building and downstream within the building. (Building, Environmental Utilities)

43. The following note shall be added to the improvement plans:

To minimize dust/ grading impacts during construction the applicant shall:

- a. Spray water on all exposed earth surfaces during clearing, grading, earth moving and other site preparation activities throughout the day to minimize dust.

- b. Use tarpaulins or other effective covers on all stockpiled earth material and on all haul trucks to minimize dust.

- c. Sweep the adjacent street frontages at least once a day or as needed to remove silt and other dirt which is evident from construction activities.

- d. Ensure that construction vehicles are cleaned prior to leaving the construction site to prevent dust and dirt from being tracked off-site.

- e. The City shall have the authority to stop all grading operations, if in opinion of city staff, inadequate dust control or excessive wind conditions contribute to fugitive dust emissions. (Engineering)

44. This project falls within the Commercial land use category of the Pleasant Grove Watershed Flood Control Plan as determined by the Placer County Flood Control District and adopted by the City of Roseville. The project is therefore subject to a fee based on gross developed acres. (Engineering)
45. The applicant shall remove and reconstruct any existing damaged curb, gutter, and sidewalk along the property frontage. During plan check of the improvement plans and/or during inspection, Engineering will designate the exact areas to be reconstructed. (Engineering)
46. Existing public facilities damaged during the course of construction shall be repaired by the applicant, at the applicant's expense, to the satisfaction of the City. (Engineering)
47. All improvements being constructed in accordance with the approved grading and improvement plans shall be accepted as complete by the City. (Engineering)
48. The words “traffic control appurtenances” shall be included in the list of utilities allowed in public utilities easements (PUE’s) located along public roadways. (Engineering)
49. Water, sewer and reclaimed water shall be constructed pursuant to the adopted City of Roseville Improvement Standards and the City of Roseville Construction Standards. (Environmental Utilities)
50. All water backflow devices shall be tested and approved by the Environmental Utilities Department. (Environmental Utilities)
51. **Restaurants or other food services.** The developer shall install exterior grease interceptor if the proposed business could potentially discharge any grease type product. (Environmental Utilities)
52. Additional internal easements will be required to cover primary electrical facilities to the project when the final electrical design is completed. (Electric)
53. All Electric Department facilities, including streetlights where applicable, shall be designed and built to the “City of Roseville Specifications for Commercial Construction.” (Electric)

54. The City of Roseville Electric Department has electrical construction charges which are to be paid by the developer and which are explained in the City of Roseville "Specification for Commercial Construction." These charges will be determined upon completion of the final electrical design. (Electric)
55. Any relocation, rearrangement, or change of existing electric facilities due to this development shall be at the developer's expense. (Electric)
56. Any facilities proposed for placement within public/electric utility easements shall be subject to review and approval by the Electric Department before any work commences in these areas. This includes, but is not limited to, landscaping, lighting, paving, signs, trees, walls, and structures of any type. (Electric)
57. All landscaping in areas containing electrical service equipment shall conform with the Electric Department's Landscape Requirements and Work Clearances as outlined in Section 10.00 of the Departments "Specification for Commercial Construction." (Electric)
58. All electric metering shall be directly outside accessible. This can be accomplished in any of the following ways:
- a. Locate the metered service panel on the outside of the building.
 - b. Locate the metered service panel in a service room with a door that opens directly to the outside. The developer will be required to provide a key to the door for placement in a lock box to be installed on the outside of the door. Any doors leading from the service room to other areas of the building shall be secured to prohibit unauthorized entry.
59. One ¾" conduit with a 2-pair phone line shall be installed from the buildings telephone service panel to the meter section of the customer's electrical switchgear or panel. (Electric)
60. It is the responsibility of the developer to insure that all existing electric facilities remain free and clear of any obstruction during construction and when the project is complete. (Electric)

OTHER CONDITIONS OF APPROVAL:

61. The applicant shall pay City's actual cost for providing plan check, installation, and inspection services. This may be a combination of staff costs and direct billing for contract professional services. (Engineering, Environmental Utilities)
62. All existing public utility, electric, water, sewer and reclaimed water easements shall be maintained unless otherwise authorized by these conditions of approval. (Electric, Engineering, Environmental Utilities)
63. The project shall comply with all required environmental mitigation identified in the Northwest Roseville Specific Plan EIR and General Plan EIR. (Planning)
64. Signs shown on the elevations are not approved as part of the Design Review Permit. A Sign Permit is required for all project signs. (Planning)
65. The parking lot striping and signage shall be maintained in a visual and legible manner. Stripes shall be solid with no copy. (Planning)
66. Following the installation of the landscaping, all landscape material shall be maintained in a healthy and weed free condition; dead plant material shall be replaced immediately. All trees shall be maintained and pruned in accordance with the accepted practices of the International Society of Arboriculture (ISA). (Planning)
67. The City reserves the right to restrict vehicle turning movements within the public right-of-way in the future if deemed necessary by the City Engineer. (Engineering)
68. The required width of fire apparatus access roads shall not be obstructed in any manner, including the parking of vehicles. Minimum required widths and vertical clearances established by the Fire Code shall be maintained at all times during construction. Closure of accesses for fire apparatus by gates, barricades and other devices shall be prohibited unless approved by the Fire Chief. (Fire)

69. Temporary aboveground storage tanks may be used at construction sites for diesel fuel only and shall not exceed 1,000 gallon capacity. Tanks shall comply with all provisions found within the Fire Code. A Fire Department Permit shall be obtained prior to tank installation. The permit shall expire after 90 days from the date of issuance, unless extended by the Fire Chief. (Fire)
70. If site survey or earth moving work results in the discovery of hazardous materials in containers or what appears to be hazardous wastes released into the ground, the contractor or person responsible for the building permit must notify the Roseville Fire Department immediately. A representative from the Fire Department will make a determination as to whether the incident is reportable or not and if site remediation is required. (Fire)
71. The location and design of the gas service shall be determined by PG&E. The design of the gas service for this project shall not begin until PG&E has received a full set of City approved improvement plans for the project. (PG&E)
72. The project is subject to the noise standards established in the City's Noise Ordinance. In accordance with the City's Noise Ordinance project construction is exempt between the hours of seven a.m. and seven p.m. Monday through Friday, and between the hours of eight a.m. and eight p.m. Saturday and Sunday. Provided, however, that all construction equipment shall be fitted with factory installed muffling devices and that all construction equipment shall be maintained in good working order. (Building)
73. The developer (or designated consultant) shall certify that the building foundation location has been placed according to all approved setback requirements shown on the approved site plan. The developer shall prepare a written statement confirming building placement and provide an original copy to the City Building Department Field Inspector at the time of or prior to the foundation inspection. (Building)
74. Prior to Certificate of Occupancy, the applicant may apply for a Temporary Occupancy (TO) of the building. If a TO is desired, the applicant must submit a written request to the Building Division a minimum of thirty (30) days prior to the expected temporary occupancy date and shall include a schedule for occupancy and a description of the purpose for the Temporary Occupancy. (Building)

ATTACHMENTS:

1. Color Elevations

EXHIBITS:

- A. Site Plan
- B. Grading Plan
- C. Elevations
- D. Floor Plan
- E. Landscape Plan

Note to Applicant and/or Developer: Please contact the Planning Department staff at (916) 774-5276 prior to the Design Committee meeting if you have any questions on any of the recommended conditions for your project. If you challenge the decision of the Committee in court, you may be limited to raising only those issues which you or someone else raised at the public hearing held for this project, or in written correspondence delivered to the Planning Director at, or prior to, the public hearing.

DESIGN REVIEW PERMIT MODIFICATION STAFF REPORT

Prepared by:



Gina McColl, Associate Planner

Approved by:



Greg Bitter, Planning Manager

Date: June 5, 2017

Project Description

Applicant: Chet Rusic, PM Design Group, Inc.

Owner: Mike Hogenboom, Starbucks Coffee Company

Date Filed: April 04, 2017

File/Project Number: PL17-0090

Citywide Job Number: 170195

Project Name, Address and Location: NWRSP PCL 18 – Starbucks Drive-thru Addition; 1241 Pleasant Grove Bl.; 017-410-072-000

Request: The applicant requests approval of a Design Review Permit Modification to expand the existing Starbucks drive-thru coffee kiosk building by 107 square feet to increase operational efficiency. The addition will allow a reconfiguration of the coffee preparation area, will be located within the existing landscape area, and will not modify the existing on-site circulation.

Environmental Determination: The project is categorically exempt from the environmental review requirements of the California Environmental Quality Act (CEQA) per Section 15332 pertaining to Infill development projects and pursuant to Section 305 of the City of Roseville CEQA Implementing Procedures.

BACKGROUND

The project site is located at 1241 Pleasant Grove Boulevard in the Arbor View Village Center. The center is located on the corner of Foothills Boulevard and Pleasant Grove Boulevard, in the Northwest Roseville Specific Plan (NWRSP) (see Figure 1). The Arbor View Village Center was approved by the Planning Commission in June 2003 and originally included six commercial pad buildings and shared parking (Phase I). In September 2003 the Design Committee approved an expansion of the center to include two additional commercial pad buildings and parking (Phase II). In February 2013 the Design Committee approved development of a 401 square foot drive-thru coffee kiosk to replace the anticipated Building G within the center (File#2007PL-113; DRP-000468). To date, the Arbor View Village Center is nearly built-out with all but one of the eight pad buildings (including Starbucks) constructed and all on-site parking and landscaping installed. The center is occupied by a mix of commercial tenants including restaurants, personal services, medial offices, and retail.

The current request is to add 107 square feet to the west elevation of the existing Starbucks building to increased efficiency with a reconfiguration of the coffee preparation area. The establishment is a drive-thru only facility with no indoor seating for patrons. The building addition will be within an existing landscape area and will not require modifications to the drive-thru lane.

Figure 1: Location Map



EVALUATION

The evaluation of the proposed project has been based on the applicable development standards within the City's Zoning Ordinance and the design standards described in the NWRSP and Community Design Guidelines (CDG's). Project plans are provided as Exhibits A-D. Staff reviewed the proposal for consistency with all applicable standards and found the project to be consistent with the pertinent requirements and guidelines. The following discussion is provided as clarification on the proposed modifications.

Site Improvements

As mentioned, the current site is developed with an existing Starbucks drive-thru only coffee kiosk and associated drive-thru aisle and landscaping. The site design was previously evaluated through the design review permit (DRP-000468) and found to be consistent with City regulations and standards. The building addition will be located within an existing landscape area and will not impact site circulation. The establishment provides the required 180 feet of stacking, which is per use and not based on square footage. No additional vehicular stacking is required. Starbucks stated the building addition will improve efficiency and therefore should reduce the amount of space currently needed for queuing vehicles. Following construction, the project has been conditioned to replace any damaged landscape materials, not covered by the building addition, with like materials. No additional site improvements are required of the project.

Architecture

The existing building is a 401 square-foot modular style kiosk building with stucco, cultured stone and trellis features to compliment the other buildings within the Arbor View Center. The proposed addition will be located on the rear half of the west elevation. The facade will consist of stucco painted to match the existing buildings. A window and wood panel details will be added to provide visual interest, similar to the existing architecture. As proposed, staff finds the building addition is compatible with the existing building

and consistent with the findings of the original approval. No additional modifications to the building architecture are required.

Parking

Parking for the Starbucks drive-thru is provided within the Arbor View Village Center-Phase I parking lot. The center's parking lot is fully constructed with 230 at-grade parking spaces that are shared for all users/tenants within the center. The City determines the parking requirements for commercial centers based on the uses within the center. The Zoning Ordinance provides a parking ratio for each use type. The applicant has provided a parking table (Exhibit E) that lists current tenants within the center and the associated parking requirement. The Starbucks drive-thru is classified as an Eating & Drinking – fast food with drive-thru use type. Per the Zoning Ordinance parking standards, the establishment is required to provide one parking space for every 50 square feet (1:50) of space. The existing 401 square foot restaurant was required to provide eight parking spaces. With the 107 square foot addition, an additional two parking spaces are required within the center. As shown in the parking table, based on the current tenant mix and with the two additional required parking spaces, there will still be a surplus of 10 parking spaces available. Based on the operational characteristics of the Starbucks and the availability of parking within the center, no parking issues are anticipated by the project.

DESIGN REVIEW PERMIT MODIFICATION CONCLUSION

Staff supports the modifications as outlined above and does not suggest any additional changes. Section 19.78.060(C) of the Zoning Ordinance requires two findings of fact be made in order to approve a Design Review Permit Modification. Based on the analysis contained in this staff report and with the project conditions, the required findings for approval can be made. The two findings for approval can be found below.

FINDINGS

In order to approve a Design Review Permit Modification, the following two findings must be made:

- 1. The proposed modification is in substantial compliance with the intent of the original approval, prior conditions of approval, and all applicable design, development and improvement standards in effect as of the date of application for the modification.***
- 2. The proposed modification is in compliance with all standards and requirements of the City's Zoning Ordinance, with the applicable goals, policies and objectives set forth in the General Plan, NWRSP, and the applicable Community Design Guidelines.***

OTHER CONSIDERATIONS

- The project plans were routed to all affected City departments for review and their comments/conditions have been included herein.
- A Notice of Intent to Approve the project was mailed to property owners and residents within a 300-foot radius of the project site. To date, no comments or issues were raised by adjacent property owners or interested individuals.

NOTICE OF ACTION

The Design Review Permit Modification (File # PL17-0090) is hereby approved as the required findings, noted above, can be made based on the analysis contained in this staff report, and as conditioned below:

CONDITIONS OF APPROVAL FOR PL17-0090:

1. This design review permit approval shall be effectuated within a period of two (2) years from this date and if not effectuated shall expire on **June 5, 2019**. Prior to said expiration date, the applicant may apply for an extension of time, provided, however, this approval shall be extended for no more than a total of one year from **June 5, 2019**.
2. The project is approved as shown in Exhibits A - E and as conditioned or modified below. (Planning)
3. The project is subject to the previously approved conditions of approval for the NWRSP PCL 18 – Starbuck Drive-Thru (File #2007PL-113), except as conditioned or modified below. (Planning)
4. Any landscape areas that are disturbed during construction shall be replaced to previous conditions. (Planning)
5. The existing building is a commercial modular. Additions or alterations to commercial modular buildings are under the jurisdiction of the California, Department of Housing and Community Development – Division of Codes and Standards (HCD). State law prohibits any local jurisdiction from imposing local requirements on the commercial modular itself when it bears an HCD insignia of approval. (Building)
6. A building permit for compliance with the 2016 California Code of Regulations, Title 24 is required for the installation of the commercial modular. The foundation, field installed elements and connections may be under local plan review, approval and inspection. (Building)
7. Exterior accessibility, building service (electrical, sewer, water) connections/modifications are under local jurisdiction requirements and are to be include in the building permit design documents. (Building)
8. There is an existing 400-amp, 120/208v service to the kiosk. Any upgrade required to this service to feed the proposed addition will be at the developers expense. (Electric)

APPEAL REQUIREMENTS:

Appeal Procedure: The decision of the Planning Manager is final unless appealed. Persons dissatisfied with the Planning Manager’s decision may appeal it to the Design Committee by filing a written appeal, with the associated appeal fee, within 10 calendar days of the date of Design Review Permit Modification approval. All appeals shall be filed with the Planning Division. You may be precluded from filing a lawsuit to challenge this decision unless you use this opportunity for administrative appeal and raise any issue you believe to be wrongly decided.

Exhibits

- A. Site Plan
- B. Floor Plan
- C. Elevations
- D. Colored Elevations; Color & Materials Palette
- E. Arbor View Village Center Parking Table



STARBUCKS COFFEE COMPANY
 2401 UTAH AVENUE SOUTH
 SEATTLE, WASHINGTON 98134
 (206) 318-1575

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STARBUCKS TEMPLATE VERSION 12016-09-25

ARCHITECT OF RECORD



APPROVED BY
 Planning Department

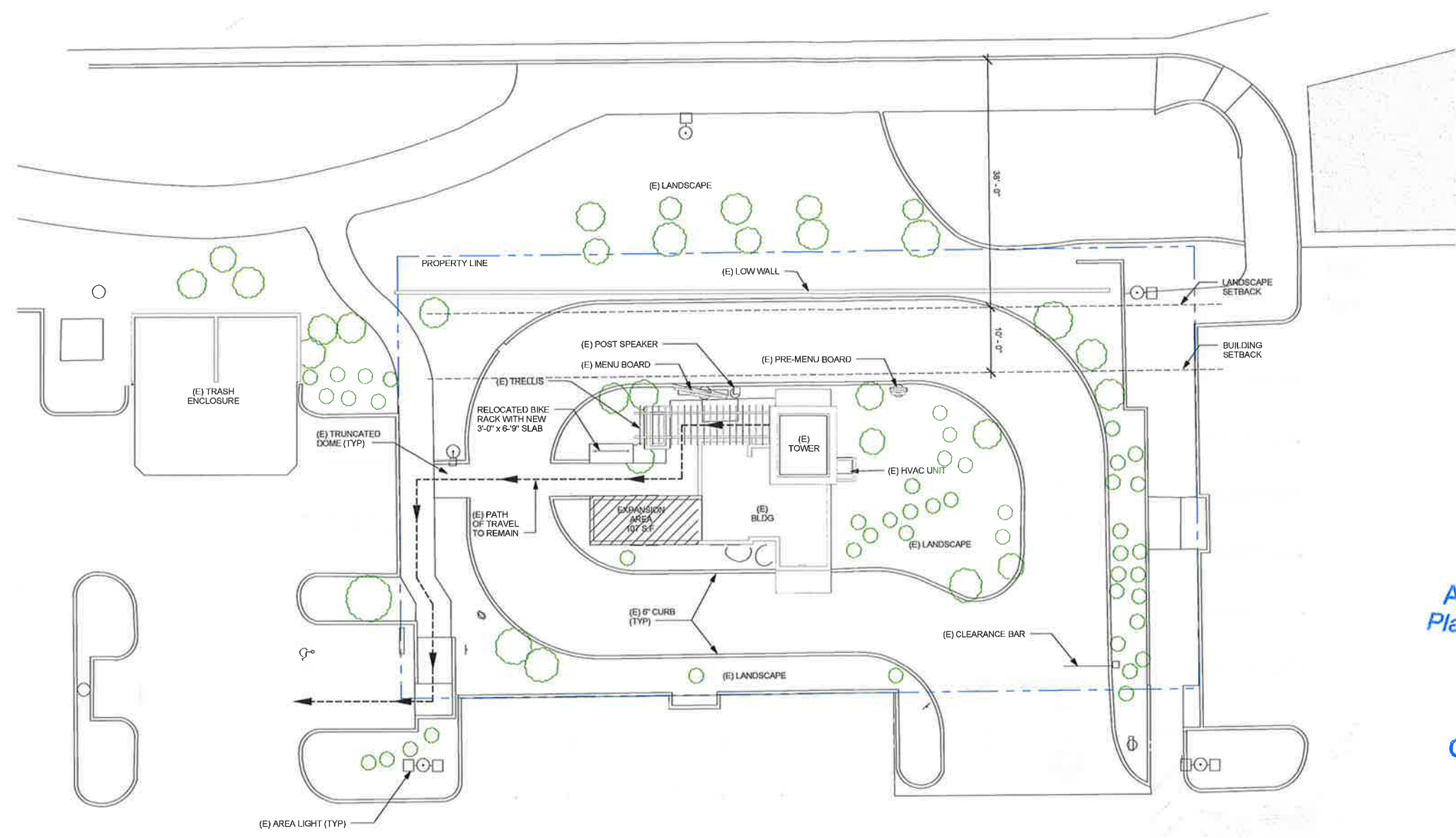
JUN 05 2017

City of Roseville
 GMC

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APR 04 2017

Planning Department



1 PROPOSED SITE PLAN
 Scale 1" = 10'-0"



FULL COST
 DRP - MOD

PL17-0090

NWRSP PCL 18 -
STARBUCKS BUILDING ADDITION
1241 PLEASANT GROVE BL

PROJECT NAME:
PLEASANT GROVE & Foothills Blvd.

PROJECT ADDRESS:
 1241 PLEASANT GROVE BLVD.
 ROSEVILLE, CA 95747

STORE #: 14059
 PROJECT #:
 CASEWORK CONCEPT:
 ISSUE DATE:
 DESIGN MANAGER:
 LEED® AP:
 PRODUCTION DESIGNER:
 CHECKED BY:

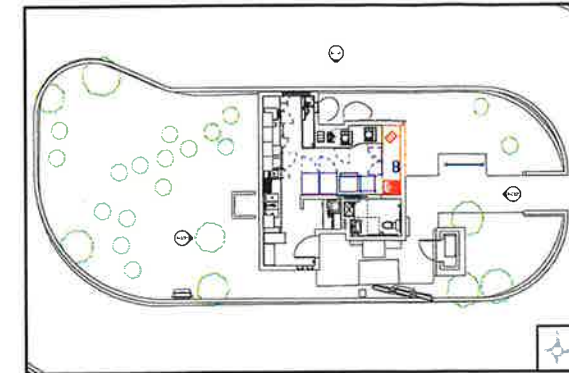
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Rev	Date	By	Description

SHEET TITLE:
ARCHITECTURAL SITE PLAN - PROPOSED
 SCALE: AS SHOWN

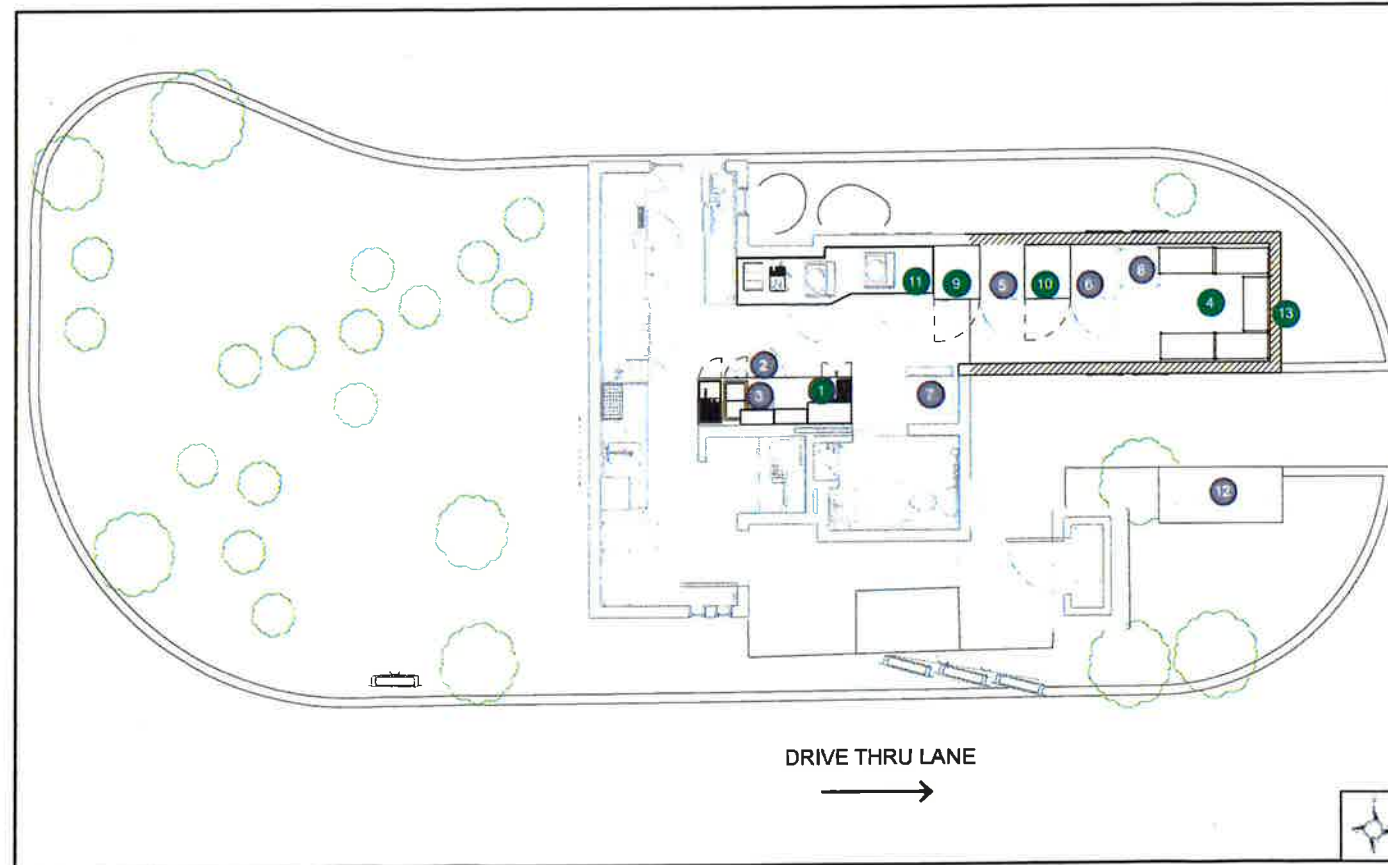
SHEET NUMBER:
A-1002

- NEW
- EXISTING

PROPOSED PLAN NOTES	
Engine	
1	(N) CBS Station
2	(E) Relocate 2-Door UC Fridge
3	(E) Relocate Blenders (2)
4	(N) Metro Racks (5)
5	(E) Relocate 1 door fridge
6	(E) Relocate 1 door freezer
7	(E) Relocate ice machine
8	(E) Relocate pastry rack
9	(N) 1 door fridge
10	(N) 1 door freezer
11	(N) SST Espresso counter with lip with integral magic sink
Exterior	
12	(E) Relocate Bike Rack
13	(N) Building Expansion 106 SQ FT



EXISTING PLAN



PROPOSED PLAN



#14059: Pleasant Grove & Foothills Blvd
Roseville, CA

PROPOSED FLOOR PLAN/ SCOPE OF WORK | 11

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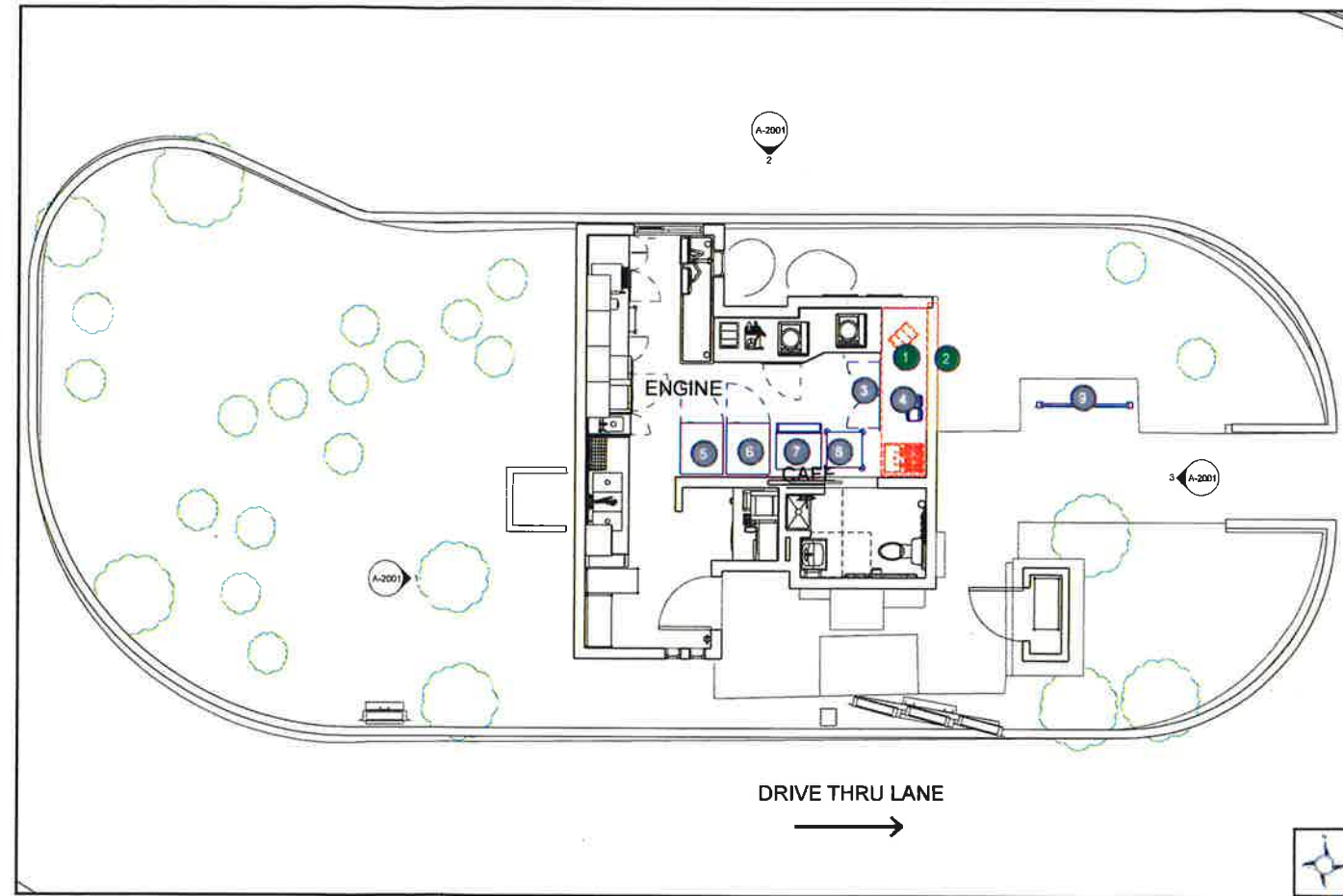
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City of Roseville

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- DEMO
- EXISTING
- Keep Existing
- Demo
- Relocate

EXISTING PLAN NOTES	
Engine	
1	Demo CBS station
2	Demo wall at CBS
3	Relocate 2-door UC fridge
4	Relocate blenders (2)
5	Relocate 1 door fridge
6	Relocate 1 door freezer
7	Relocate ice machine
8	Relocate pastry rack
Exterior	
9	Relocate Bike Rack



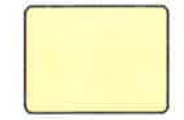
#14059: Pleasant Grove & Foothills Blvd
Roseville, CA



MATERIAL LEGEND



PLUM CREEK
VERETTA STONE
TO MATCH EXISTING



STUCCO TO MATCH EXISTING
COLOR AND TEXTURE OF
EXISTING BUILDING



STUCCO TO MATCH EXISTING
COLOR AND TEXTURE OF
EXISTING BUILDING



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City of Roseville

amcar



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SEATTLE, WASHINGTON 98134
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STARBUCKS TEMPLATE VERSION | 2016-09-25



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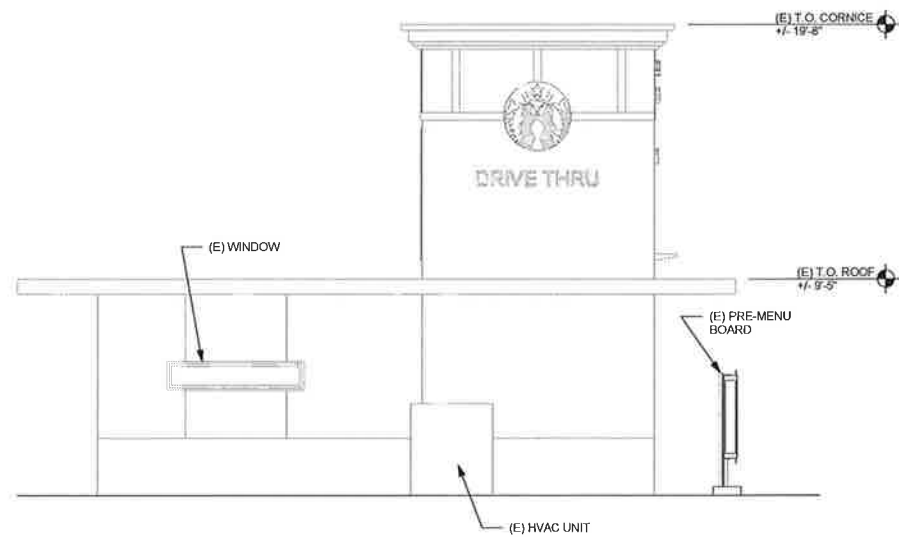
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PLEASANT GROVE & FOOTHILLS BLVD.
PROJECT ADDRESS:
1241 PLEASANT GROVE BLVD.
ROSEVILLE, CA 95747

STORE #: 14059
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ISSUE DATE:
DESIGN MANAGER:
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PRODUCTION DESIGNER:
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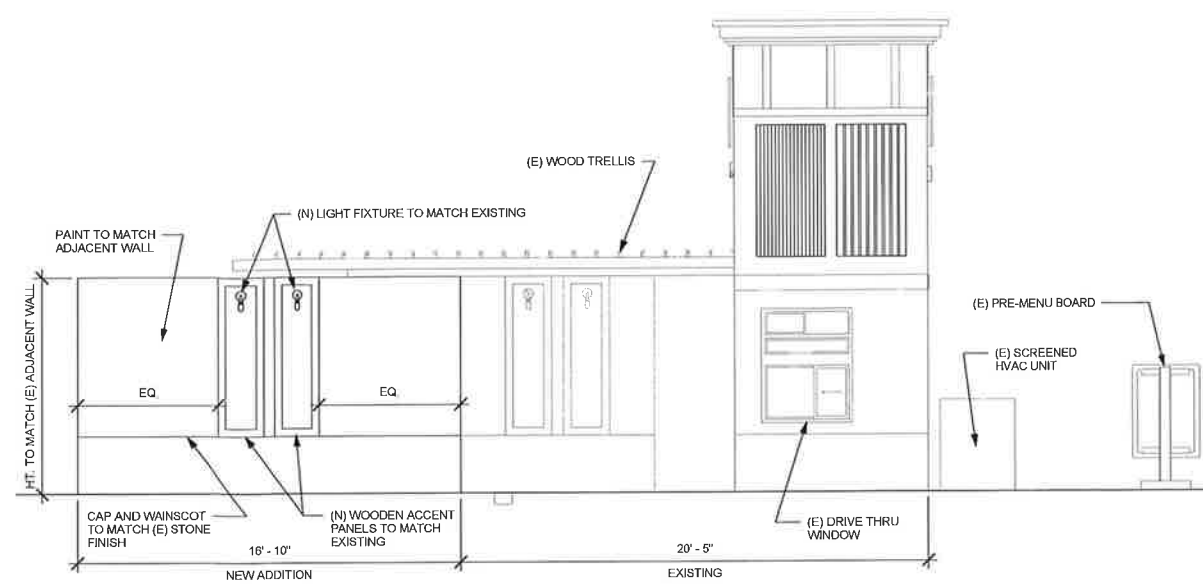
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Rev	Date	By	Description

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SCALE: AS SHOWN

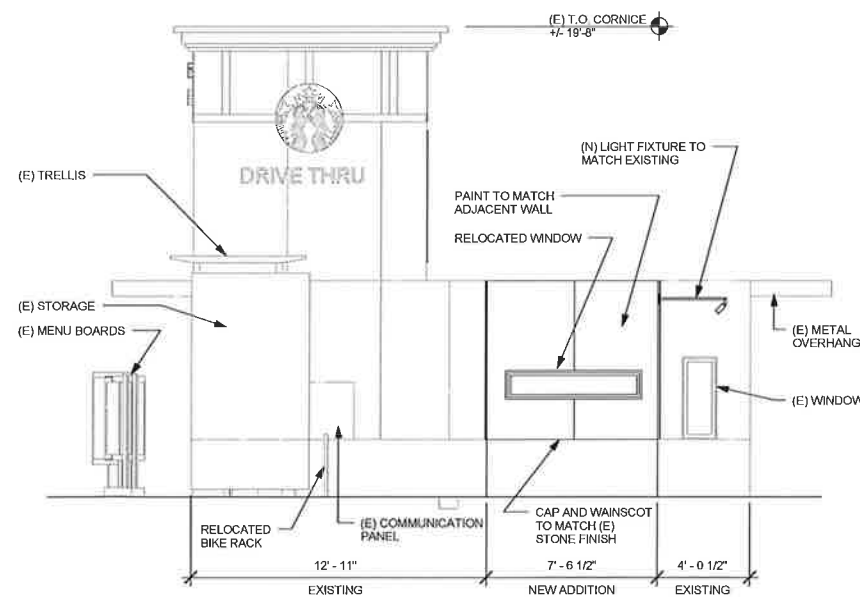
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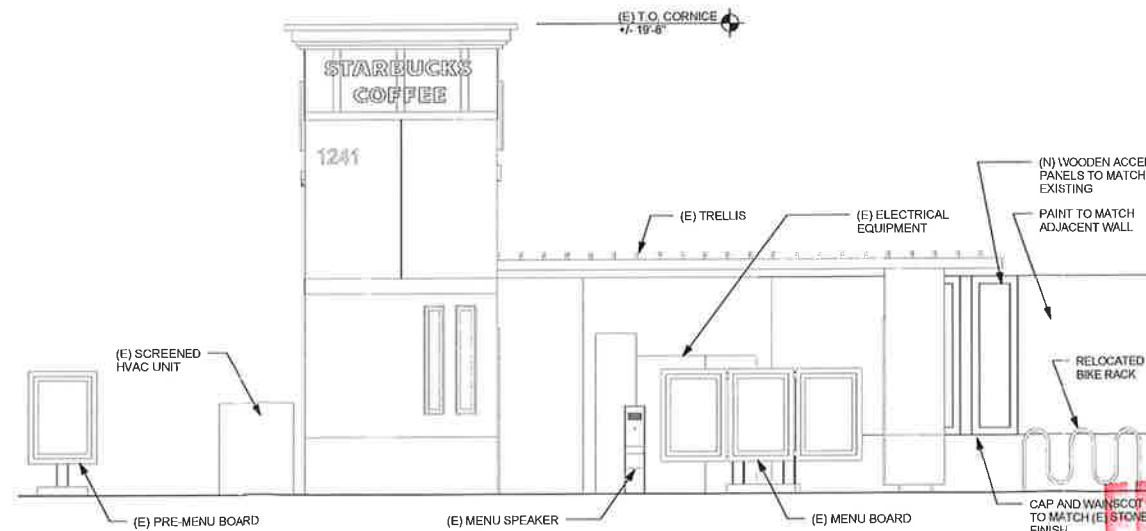
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Scale 1/4" = 1'-0"



3 SOUTH ELEVATION - PROPOSED
Scale 1/4" = 1'-0"



2 WEST ELEVATION - PROPOSED
Scale 1/4" = 1'-0"



4 NORTH ELEVATION - PROPOSED
Scale 1/4" = 1'-0"

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PL17-0090

NWRSP PCL 18 -
STARBUCKS BUILDING ADDITION
1241 PLEASANT GROVE BL

EXHIBIT E

5/31/2017

Arbor View Village

Building	Suite	Tenant	SF	Patio	Use	Ratio	Parking required	Parking provided	Comments
A	100/120	Vet Clinic	3,244	0	Medical	1/ 150	22.00	11	1/employee. 1/co car, 1 drop of for 8 liscenced child
	140	Arbor View Montessori	2,037	0	Day Care	Special	11.00		
	150	Arbor View Montessori	1,474	0	Day Care	Special	7.00		
	155	Vacant	1,157			1/ 200	6.00		
	160	Tangles for Kids	1,147	0	Personal Services	1/ 300	4.00		
	165	Mud to Suds	1,167		Personal Services	1/ 300	4.00		
	170	Chicago Pizza	1,157	0	Restaurant	1/ 100	12.00		
	175	Reinvent	1,267	0	Retail	1/ 300	4.00		
	180	Chinese Restaurant	2,199	0	Restaurant	1/ 100	22.00		
		Roof Access	207						
Building Total			15,056	0	0		92		
actual SF			15,056	TRUE					
C	100	Future Building C	5,262	0	General Retail	1/ 200			Vacant lot (26 potentially needed)
D	100	Dry Cleaner	1,480	0	Personal Services	1/ 300	5.00		
	140	Loli-cup	1,615	0	Restaurant	1/ 100	16.00		
	160	Nail Salon	1,271	0	Personal Services	1/ 300	4.00		
	190	Dentist	1,984	0	Medical Office	1/ 150	13.00		
		Roof Access	192		n/a				
Building Total			6,542	0	0		38		
actual SF			6,542	TRUE					
E	100	Florist	1,290	0	Indoor Sports & Rec	1/ 50	26.00		
	110	vacant shell	1,761			1/ 200	9.00		
	120	Guys for Lunch	1,298		Restaurant	1/ 100	13.00		
	130	Top it off Yogurt	1,200		Restaurant	1/ 100	12.00		
		Roof Access	130		n/a				
Building Total			5,679	0	0		60		
actual SF			5,679	TRUE					
F	100	Halo Day Spa	1,867	0	Personal Services	1/ 300	6.00		
	110	Vacant	1,106			1/ 200	6.00		
	120	Indian Deli	2,397			1/ 300	8.00		
		Roof Access	130		n/a				
Building Total			5,500	0	0		20		
actual SF			5,500	TRUE					
G		Starbucks	508			1/ 50	10.00		
Project Totals							220	230	
									Parking Remaining
									10
							230		Total Parking
							6		Motorcycle
							7		Handicap
							37		Compact
							180		Standard

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Planning Department

JUN 05 2017

City of Roseville

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